

DATE: April 16, 2026

PROJECT NAME: **Renovations for Scotland Town Hall
9 Devotion Road Scotland, CT 06264**

TO: All Contractors who have both secured bid documents from CT Bid Board and attended the mandatory Pre-Bid conference on April 7, 2026.

ADDENDUM NUMBER FIVE

This addendum forms a part of the bidding and contract documents for Renovations for Scotland Town Hall. It modifies the original bidding documents prepared by Nelson Edwards Company Architects LLC dated February 20, 2026.

Please acknowledge receipt of this addendum and return these pages as part of your proposal submittal packet.

QUESTIONS SUBMITTED UP TO 5:00 PM on APRIL 14, 2026, AND CLARIFICATION ITEMS

No	REFERENCE	QUESTION AND ANSWER, or CLARIFICATION ITEM
1.		Q: Please confirm whether hazardous material abatement (ACM, LBP, universal waste) is by Owner under separate contract or is fully included in GC scope? A: <i>By Owner.</i>
2.		Q: Please confirm whether abatement work is to be carried out as an Allowance, or Unit Price basis? A: <i>See Question 1.</i>
3.		Q: Please confirm responsibility for newly discovered hazardous materials? A: <i>Contractor responsibility. See 00 72 00 – General Conditions of the Contract A201-2017, 10.3.1</i>
4.		Q: Please confirm responsibility for air monitoring, clearance testing, and industrial hygiene? A: <i>Owner scope when related to Owner contracted work. Contractor scope for contractor related work.</i>
5.		Q: Please clarify responsibility for removal / disposal of ballasts, lamps, appliances, etc. A: <i>Owner.</i>

6.		<p>Q: Please provide soil borings, test pits, groundwater data, and infiltration rates or a geotechnical report.</p> <p>A: <i>Soil testing was conducted for the purpose of septic system repairs completed by the Town. See Attachment 'A' to this Addendum for soil test results and location map for testing locations.</i></p>
7.		<p>Q: Please confirm rock excavation to be included in base bid or as a unit price.</p> <p>A: <i>See Section 33 41 00 (Storm Utility Drainage), 3.2.F for removal of rock, if encountered. See Section 01 20 00 (Allowances and Unit Prices, Rev. 1) and 00 41 00 (Bid Form, Rev. 3)</i></p>
8.		<p>Q: Please clarify testing criteria for storm water drainage systems?</p> <p>A: <i>Contractor is not required to perform testing for the storm drainage system. If soil conditions encountered by contractor during the installation of the system are problematic to the installation of the system, the contractor shall contact the design engineer.</i></p>
9.		<p>Q: Please clarify acceptance standards for storm water drainage systems.</p> <p>A: <i>The contractor is responsible for installing the drainage system as shown on the plans and details located on C200 and C402.</i></p>
10.		<p>Q: Please clarify limits on retesting requirements for stormwater drainage systems?</p> <p>A: <i>Retesting is not required unless water is encountered while installing the system.</i></p>
11.		<p>Q: Please confirm whether GC is responsible for final design of Cultec Stormwater System?</p> <p>A: <i>The stormwater system has been designed by the Engineer. See Dwg. C402 for design standards.</i></p>
12		<p>Q: Please confirm whether GC is responsible for final layout of Cultec Stormwater System?</p> <p>A: <i>The contractor is responsible for site layout. CAD files can be provided for layout purposes upon receipt of signed release (Section 01 33 01.)</i></p>
13.		<p>Q: Please confirm whether GC is responsible for final performance of Cultec Stormwater System?</p>

		<i>A: The contractor is responsible for the installation and final performance of the stormwater system. The contractor shall show the as-built location of the stormwater system on the final as-built.</i>
14.		Q: Please confirm responsibility for dewatering? A: <i>The contractor is responsible for dewatering during excavation, if necessary. The associated cost should be included in price for Division 32 Site Work for Site Scope 1 and Site Scope 2.</i>
15.		Q: Please confirm anticipated groundwater conditions? A: <i>Based on available soil testing results, it was observed that groundwater seepage occurred at various depths from 47" to 77" but was dependent on where the testing occurred. See Attachment 'A', Soil Test Data.</i>
16.		Q: Please clarify the process for concealed / unforeseen conditions. A: <i>See 00 72 00, General Conditions of the Contract, A201-2017, Article 7.</i>
17.		Q: Please clarify the limits of demolition for selective demolition in Architectural drawings? A: <i>Selective demolition relates to the entire building as required by new work.</i>
18.		Q: Please clarify the protection of existing systems that are not to be demolished / removed during selective demolition process? A: <i>See Section 01 50 00 (Temporary Facilities and Controls), Section 02 41 19 (Selective Demolition)</i>
19.		Q: Please confirm existing systems are adequate for new loads or required upgrades are included in the scope? A: <i>Existing systems have been confirmed for capacity and required system upgrades have been included in the scope of work.</i>
20.		Q: Please clarify whether building will be fully vacant? A: <i>All areas, other than the vault, will be vacated. See Section 00 11 00 (Summary of Work.) Owner will occupy Vault for the duration of the project. See Section 02 41 19 (Selective Demolition) 1.8, A.</i>
21.		Q: Please confirm phasing and public access requirements?

		A. <i>Single Phase contract. Review Section 00 11 00 (Summary of Work), 1.5, B.</i>
22.		Q: Please provide a Basis of Design for the radon mitigation scope? A: <i>Radon mitigation system a separate contract that will be assigned to the General Contractor.</i>
23.		Q: Please provide performance criteria for the radon mitigation system? A: See answer to question no. 22, above.
24.		Q: Please provide testing requirements post installation for the radon mitigation system? A: See answer to question no. 22, above.
25.		Q: Please confirm the requirements for engineered (stamped) shoring plans. A: <i>See 02 41 19 (Selective Demolition), 3.4, B.</i>
26.		Q: Please confirm the responsibility for design of temporary facilities (GC or EOR review.) A: <i>The GC has the responsibility. See Section 01 50 00 (Temporary Facilities and Controls.)</i>
27.		Q: Please confirm responsibility for temporary roofing protection for inclement weather and / or openings from roof repair / replacement? A: <i>The contractor has responsibility. See 01 50 00 (Temporary Facilities and Controls) 3.4, L.</i>
28.		Q: Please confirm performance requirements for roofing scope? A: <i>See 07 31 10 (Asphalt Shingles).</i>
29.		Q: Please clarify where salvaged materials are stored? A: <i>See 02 41 19 (Selective Demolition), 3.5, C.</i>
30.		Q: Please clarify who pays for storage of salvaged items? A: <i>See 02 41 19 (Selective Demolition), 3.5, C and 01 00 00 (Special Considerations) 1.5.</i>
31.		Q: Please clarify ownership of salvaged items? A: <i>Owner. See Section 02 41 19 (Selective Demolition) 1.2 and 1.3.</i>

32.		<p>Q: Please allow an extension due to RFI answers.</p> <p>A: <i>See Addendum No. 4.</i></p>
33.		<p>Q: Please confirm basis of design vendor for the fire alarm system.</p> <p>A: <i>Preferred vendor is Simplex (with a larger screen), and alternate vendor is Siemens. Other vendors would be acceptable if manufacturer is pre-approved during bidding.</i></p>
34.		<p>Q: Please confirm responsibility for system integration and monitoring of fire alarm system.</p> <p>A: Fire Alarm system integration by Vendor. Monitoring will be by Town.</p>
35.		<p>Q: Please clarify shaft requirements for the LU/LA?</p> <p>A: <i>See Drawings A401 and A500. Base of shaft is block. Walls of shaft above first floor are stud construction. Follow details for rating and blocking.</i></p>
36.		<p>Q: Please clarify power requirements for the LU/LA?</p> <p>A: <i>Per the manufacturer, the LU/LA lift requires a 30 amp circuit.</i></p>
37.		<p>Q: Please clarify inspection / certification for the LU/LA?</p> <p>A: <i>Town makes application to the Office of the State Building Inspector. The application is reviewed and accepted. Contractor orders and installs the LU/LA, LU/LA is inspected by State after installation.</i></p>
38.		<p>Q: Please clarify who pays for concrete testing?</p> <p>A: <i>See 00 72 00 - A201-2017, Article 13.4.</i></p>
39.		<p>Q: Please clarify who pays for compaction testing?</p> <p>A: <i>See 00 72 00 - A201-2017, Article 13.4.</i></p>
40.		<p>Q: Please clarify who pays for special inspections?</p> <p>A: <i>See 00 72 00 - A201-2017, Article 13.4</i></p>
41.		<p>Q: Please confirm the requirement(s) for full site perimeter fencing?</p> <p>A: <i>Full site perimeter fence is not required. Section 31 10 00 (Site Preparation) 1.2, A.2 contractor to install temporary construction fence. Actual location of site fencing to be determined by contractor based on access, working and security needs for building and site. Contractor to submit a sketch for owner review before the start of work per Section 01 33 00 (Submittals), 3.1, A.1.5.</i></p>

		<i>See also Section 01 50 00 (Temporary Facilities and Controls), 3.4, H.</i>
42.		Q: Please clarify laydown areas? A: <i>Drawing L-100</i>
43.		Q: Please clarify contractor parking? A: <i>Drawing L-100</i>
44.		Q: Please clarify access restrictions? A: <i>Vault only.</i>
45.		Q: Please confirm which governs in case of conflict: CT prevailing wage or Davis Bacon? A: <i>See Section 00 11 15, 1.9, B.</i>
46.		Q: Please confirm whether escalation is included or change order eligible for wages? A: <i>See 00 52 00 A101-2017 (Standard Form of Agreement Between Owner and Contractor), Article 8.7.6 Prevailing Wage. '...The Contractor shall include the cost of such wages including all yearly adjustments in the Contract Price.'</i>
47.		Q: Please provide contract duration. A: <i>Duration proposed by contractor with Bid.</i>
48.		Q: Please provide liquidated damages (if any)? A: <i>\$250.00 / day</i>
49.		Q: Please clarify responsibility for all third-party inspections and associated costs. A: <i>Section 00 52 00, A101-2017, Article 13.4.1</i>
50.		Q: Please confirm required limits of insurance? A: <i>Section 00 52 00, A101-2017 Exhibit A Insurance and Bonds.</i>
51.		Q: Please confirm pollution liability requirements? A: <i>See Section 00 52 01 A101-2017 Exhibit A, Insurance and Bonds, A3.2.2, A.3 Contractor's Pollution Liability.</i>
52.		Q: Please clarify whether indemnification includes environmental / unknown conditions? A: <i>Contract Documents provide the scope of indemnification.</i>
53.		Q: Please clarify that work not explicitly shown will be treated as a change order.

		A: See Article 1 of AIA101-2017 for definition of Contract Documents.
54	00 11 00 Summary of Work (CLARIFY)	Re: 1.6 Owner Occupancy, A. The Town Vault shall be accessible to the public (2) hours / week from 9AM to 11AM on Thursday mornings.
55.	00 41 00 0 Bid Form (REVISE)	See additions to form for Unit Prices and Allowances.
56.	01 21 00 Allowances and Unit Prices (REVISE)	See additions to Unit Prices and Allowances.
57.	01 55 26 Traffic Control (ADD)	This section is added to the Project Manual for work within the State right-of-way.
58.	08 58 01 Custom Metal Storm Windows (CLARIFY)	Magnetic Storm Windows are: Allied Window, Inc., Magnetic One Lite per section 08 58 01. Glazing at windows N1.1 and N1.2 to be obscure glass. Detail 1/A-600 is revised. BSK-1 issued to replace 1/A-600. Review Note 3 Under Window Schedule on A-600 to read 'storm window system: Allied Window Inc. (Cincinnati, Ohio) Magnetic One Lite interior storm.'
59.	31 11 10 Site Preparation (CLARIFY)	Section 31 11 10, 3.6 'The contractor shall provide the Architect with the following certified 'As-Built' drawings prepared and stamped by a licensed land surveyor: 1. Four sets of prints and 2. One digital file in AutoCAD .dwg format, release number to be determined. Clarification: Survey to include all site related improvements.
60.	Dwgs. C100, C200, C300 (CLARIFY)	The continuation and termination of any drainage system that begins in Site Scope 1 area - for example, storm water drains, footing drains –are considered part of Site Scope 1 work and not Site Scope 2.
61.	Dwgs. A205 and A206 (HIGHLIGHT)	Section detail 5/A205 and 4/A206 – Note requirement for licensed land surveyor to establish front property line and set control points for construction. Related requirement: Section 31 11 10 for 'As-Built' drawings.

62.	Dwg. E301 (REVISE)	Panel schedule PG1: Revise circuits #14 & 16 to be 30A-2P branch CB. Revise legend item #9 to be: 30A/2P non-fused safety switch with two (2) auxiliary contacts. 2 #10 + 1 #10 gnd. to lift service switch.
63.	Dwg. E303 (REVISE)	Revise elevator service switch to be 30 amps with 30A RK5 fuses, revise feeder to be: 2#10 + 1#10 gnd. – ¾" c.

Addendum Number 5, Attachments:

- Attachment 'A' – Soil Test Data and Map (2 pages)
- BSK-1 – Detail 1/A600 Revised (1 page)
- Section 00 41 00 – Bid Form (7 pages)
- Section 01 20 00 – Allowances and Unit Prices (5 pages)
- Section 01 55 26 – Traffic Control (9 pages)

Total number of pages, including attachments: 32

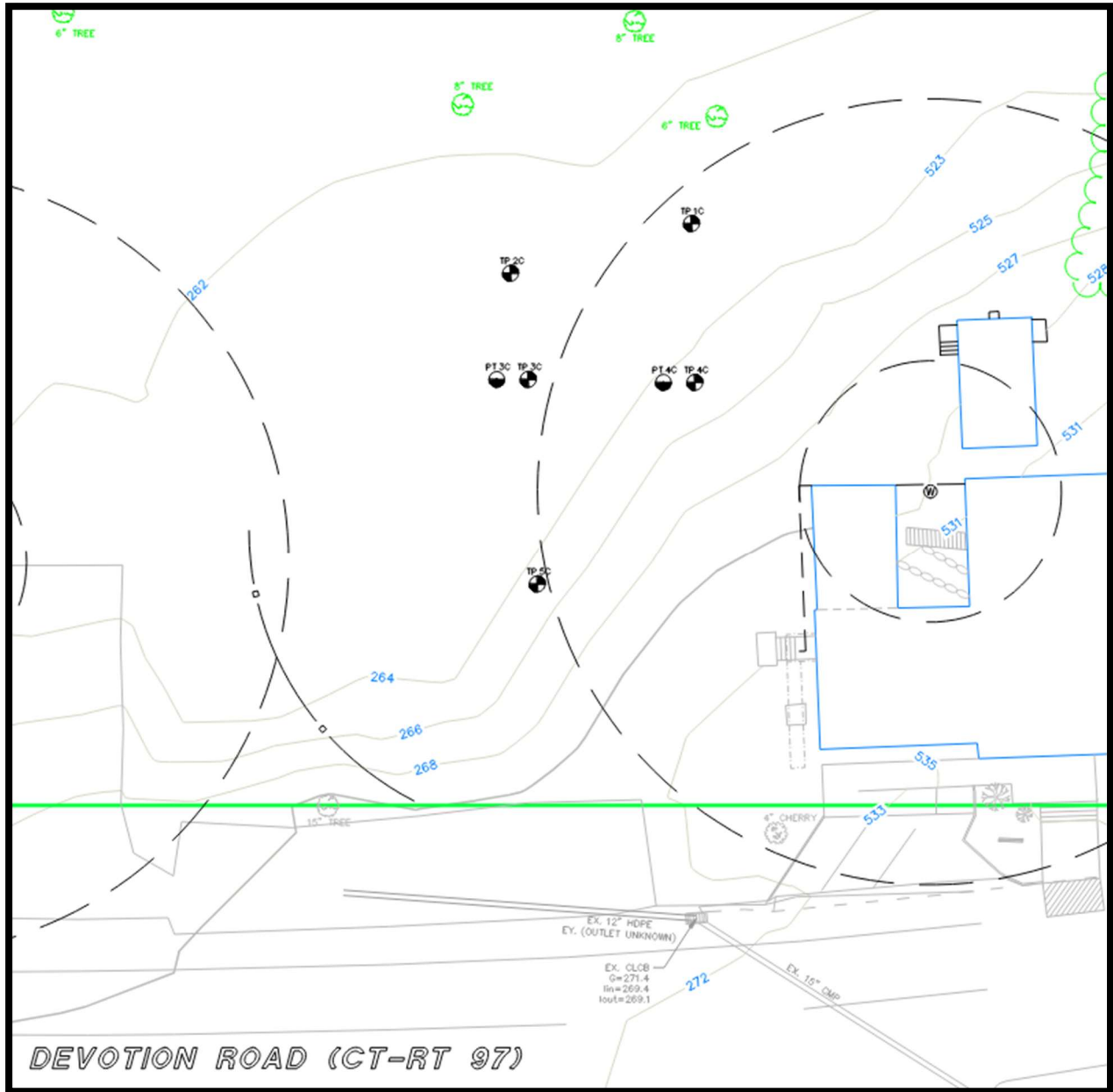
END OF ADDENDUM NUMBER FIVE

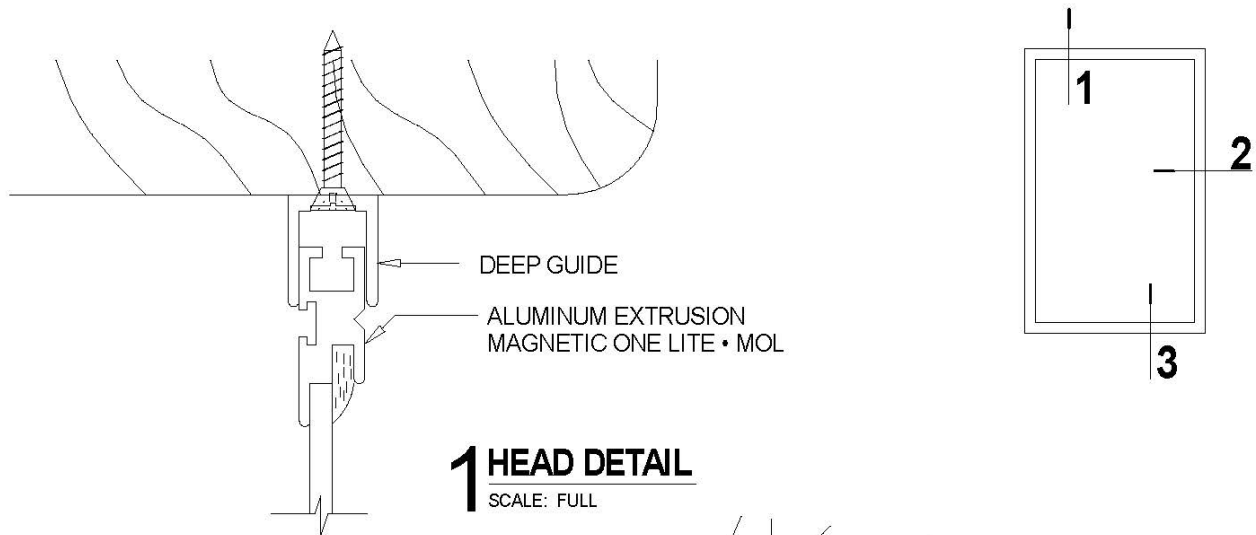
Renovations for Scotland Town Hall
 9 Devotion Road Scotland, CT 06264

Test Pit Data, June 18, 2025

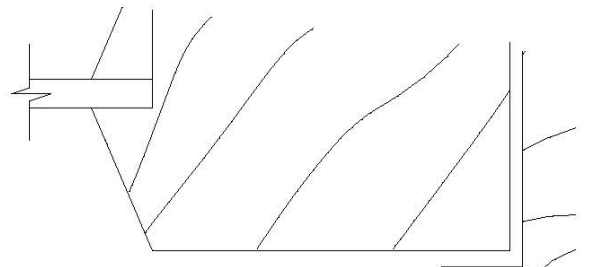
<p>Deep Test Pit #1C June 18, 2025 0-12" Topsoil 12-33" Brown Sandy Loam With Trace Silt and Cobbles 33-46" Original Topsoil 46-60" Orange Fine Silty Loam No Mottling Groundwater Seep at 50" No Ledge No Roots</p> <p>Deep Test Pit #2C June 18, 2025 0-10" Topsoil 10-38" Orange Silty Loam With Stones 38-48" Original Topsoil 48-70" Gray Silty Loam Mottling at 26" Groundwater Seep at 62" No Ledge No Roots</p> <p>Deep Test Pit #3C June 18, 2025 0-19" Fill 19-30" Original Topsoil 30-44" Red/Brown Silty Loam 44-69" Gray Silty Loam No Mottling Groundwater Seep at 47" No Ledge Roots to 47"</p>	<p>Deep Test Pit #4C June 18, 2025 0-13" Topsoil 13-36" Fill 36-48" Original Topsoil 48-67" Red Silty Loam 67-80" Gray Silt No Mottling Groundwater Seep at 67" No Ledge Roots to 58"</p> <p>Deep Test Pit #5C June 18, 2025 0-13" Topsoil 13-24" Moderately Compact Gray Silty Loam 24-63" Compact Sand and Gravel 63-78" Coarse Sand and Gravel No Mottling Groundwater Seep at 77" No Ledge Roots to 12"</p>	<p>Percolation Test #3C June 18, 2025 Depth Below Grade = 30" Depth of Percolation Test = 18" Overall Depth = 48" Time Reading 00:00 4-1/4" 00:10 16-3/8" 00:20 DRY @ 18" Percolation Rate = 1-10 minutes per inch</p> <p>Percolation Test #4C June 18, 2025 Depth Below Grade = 48" Depth of Percolation Test = 18" Overall Depth = 66" Time Reading 00:00 6" 00:10 11-3/4" 00:20 14-1/8" 00:30 16-1/2" 00:40 DRY @ 18" Percolation Rate = 1-10 minutes per inch</p>
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Map of Soil Test Data

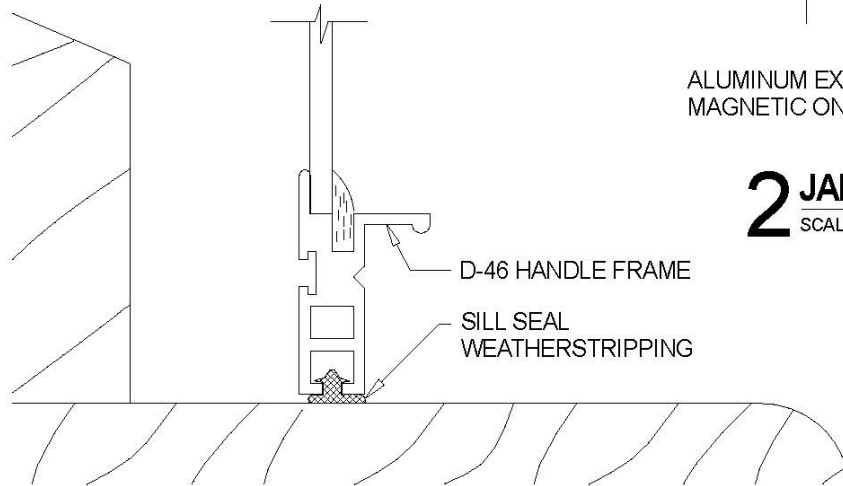




1 HEAD DETAIL
SCALE: FULL



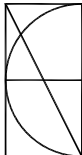
2 JAMB DETAIL
SCALE: FULL



3 SILL DETAIL
SCALE: FULL



This detail replaces I/A600 and is for Magnetic One Lite Single Storm Panel

Scale Project No. 24004.00 Date 4/16/26 Rev.	PROJECT Renovations for Scotland Town Hall Scotland, CT	SKETCH TITLE Dtl. Allied Window Magnetic One-Lite	 NELSON + EDWARDS COMPANY ARCHITECTS, LLC 1156 MAIN STREET BRANFORD, CONNECTICUT 06405 (203) 481-6611 Fax (203) 481-1992	BSK 1 SHEET OF
CONSULTANT				

Project Name: Renovations for Scotland Town Hall
9 Devotion Road, Scotland, CT 06264

Date:

To Whom It May Concern:

1. The undersigned, having familiarized (himself / herself / themselves / itself), with the existing conditions of the project area affecting the cost of the work, and with the Contract Documents (which include Request for Bid, Instructions to Bidders, Bid Form, Form of Bid Bond, Addenda (if any), General Conditions, Technical Specifications, Drawings and Photographs (as listed in the Schedule of Drawings and Photographs), hereby proposes to furnish all supervision, technical personnel, labor, materials, machinery, tools, appurtenances, equipment and services including utility and transportation services required to construct and complete the work, all in accordance with above listed documents, submits herewith in conformity with the specifications, the following proposals:

ADDENDUM RECEIPT

The Proposer hereby acknowledges receipt of Addenda Nos. _____ through _____ inclusive, and has included their provisions in the Proposal.

THE BID IS BASED UPON THE FOLLOWING SCHEDULE OF VALUES, UNIT PRICES, ALLOWANCES AND QUALIFICATIONS:

SCHEDULE OF VALUES – BASE BID

Division 1	General Conditions	\$ _____
Division 2	Demolition	\$ _____
Division 3	Concrete	\$ _____
Division 4	Masonry	\$ _____
	Allowance 4: Unit Price 5: \$ _____ x 410 CF	\$ _____
Division 5	Metals	\$ _____
Division 6	Woods, Plastics & Composites	\$ _____
	Allowance 1: Cupola	\$20,000.00
	Allowance 2: Unit Price 8: \$ _____ x 250 LF	\$ _____
	Allowance 3: Deteriorated Framing	\$5,000.00
	Allowance 11: Unit Price 1: \$ _____ x 100 SF	\$ _____
	Allowance 12: Unit Price 2: \$ _____ x 25 SF	\$ _____
Division 7	Thermal and Moisture Control	\$ _____
Division 8	Openings	\$ _____
	Allowance 10	\$60,000.00
	Allowance 13 Unit Price 4: \$ _____ x 10 panes	\$ _____
	Allowance 15 Unit Price 4a: \$ _____ x 30 panes	\$ _____
Division 9	Finishes	\$ _____
	Allowance 5 \$10.00 x _____ SF	\$ _____
	Allowance 6 \$13.00 x _____ SF	\$ _____
	Allowance 7 \$13.00 x _____ SF	\$ _____
	Allowance 9 Unit Price 9: \$ _____ X 30 units	\$ _____
Division 10	Specialties	\$ _____
	Allowance 9	\$5,000.00
Division 11	Equipment	\$ _____
Division 12	Furnishings	\$ _____
Division 14	Conveying Equipment	\$ _____
Division 22	Plumbing	\$ _____

Division 23	Heating, Venting and Air Conditioning	\$ _____
	Allowance 14: \$2,500.00	\$2,500.00
Division 26	Electrical	\$ _____
Division 31	Earthwork (Site Scope 1)	\$ _____
	Allowance 18: Unit Price 12 x 10 CY	\$ _____
Division 32	Sitework (Site Scope 1)	\$ _____
Division 33	Utilities (Site Scope 1)	\$ _____
TOTAL BID (Building and Site Scope 1)		\$ _____

SCHEDULE OF VALUES – SITE SCOPE 2 (Alternate No. 10)

Division 31	Earthwork	\$ _____
	Allowance 16:	
	Unit Price 10 x 570 CY	\$ _____
	Allowance 17:	
	Unit Price 11 x 570 CY	\$ _____
Division 32	Sitework (Scope 2)	\$ _____
Division 33	Utilities	\$ _____
TOTAL BID (Site Scope 2)		\$ _____

The total amount of the BID, based on the estimated quantities as computed by the undersigned Bidder, is: _____ Dollars and _____ Cents

(\$ _____) but it is understood and agreed that the proposal price for unit quantities of work in various items above shall control in contract award herein; that the quantities noted above are approximate only being estimated solely for use in comparing bids; and that the products obtained above by multiplying the unit prices by the estimated quantities and the total of these prices are inserted only for the purpose of checking this Proposal and for the convenience of the Bidder.

The above prices are to be paid for the actual quantities of the several classes of work in the completed work or structure. Should the dimensions of any part of the work or the materials be less than those required by the plan, the actual quantities only will be allowed in measurement.

The Town of Scotland, CT reserves the right to make the award on the basis of the Bid above.

UNIT PRICES

The Unit Prices listed below, if accepted in the award of this Contract, shall be used in establishing the adjustment of Contract Price for additions to or deductions from the work, in accordance with the applicable section of the “Instructions to Proposers.” Unit Prices accepted by the Owner shall be written into the Owner-Contractor Agreement.

Unit Price 1:	Wall Sheathing / SF	\$ _____
Unit Price 2:	Roof Sheathing / SF	\$ _____
Unit Price 3:	Wood Repair / Sq. in.	\$ _____
Unit Price 4:	Float glass Replacement / pane	\$ _____
Unit Price 4a:	Restoration Glass Replacement / pane	\$ _____
Unit Price 5:	Stone masonry Restoration / CF	\$ _____
Unit Price 6:	Removal of organic and non-suitable fill / CY	\$ _____
Unit Price 7:	Processed Base / CY	\$ _____
Unit Price 8:	Rake and eave board / LF	\$ _____
Unit Price 9:	Finish Floor Board / 10 SF	\$ _____
Unit Price 10:	Removal of non-suitable fill / CY	\$ _____
Unit Price 11:	Compacted granular subbase / CY	\$ _____
Unit Price 12:	Rock removal / CY	\$ _____

ALTERNATES

The proposer proposes and agrees that, should the following Alternate(s) be accepted and included in this Contract, the amount of the Bid shall be increased or decreased, as designated below. All materials and workmanship shall be in strict accordance with the original specifications and drawings. Refer to Technical Specification Section 01 23 00 for a description of the Alternates.

April 12, 2026 Revision to Alternate Section to provide ranking of acceptance of Alternates.

Alternate Acceptance No. 1:

Alternate No. 3: VAULT HVAC & ELEC.

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 2:

Alternate No. 5: HEATED STEPS

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 3:

Alternate No. 6: WATER 'PEX' TUBING

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 4:

Alternate No. 8: INSULATION CHANGE

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 5:

Alternate No. 10: SITE SCOPE 2 (excluding Alt. Nos. 4 & 7)

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 6:

Alternate No. 4: HANDRAIL (Site Sope 2)

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 7:

Alternate No. 9: CURBING CHANGE

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 8:

Alternate No. 1: RAMP

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 9:

Alternate No. 2: ROOF

ADD / (DEDUCT) \$ _____

Alternate Acceptance No. 10:

**Alternate No. 7: UNDERGROUND STORM WATER SYS.
(Site Scope 2)**

ADD / (DEDUCT) \$ _____

STATEMENT OF PROPOSER’S QUALIFICATIONS:

A. Name of Project: _____
 Project Address: _____
 Year Work Completed: _____
 Scope of Work: _____

 Dollar value of Construction Contract: \$ _____
 Age of Building and construction type: _____
 Property Listing (National or State Historic Register): _____
 Name of Project Manager: _____
 Owner Reference / contact information: _____
 Architect Reference / contact information: _____
 Principal Sub-contractors: _____

B. Name of Project: _____
 Project Address: _____
 Year Work Completed: _____
 Scope of Work: _____

 Dollar value of Construction Contract: \$ _____
 Age of Building and construction type: _____
 Property Listing (National or State Historic Register): _____
 Name of Project Manager: _____
 Owner Reference / contact information: _____
 Architect Reference / contact information: _____
 Principal Sub-contractors: _____

C. Name of Project: _____
 Project Address: _____
 Year Work Completed: _____
 Scope of Work: _____

 Dollar value of Construction Contract: \$ _____
 Age of Building and construction type: _____
 Property Listing (National or State Historic Register): _____
 Name of Project Manager: _____
 Owner Reference / contact information: _____
 Architect Reference / contact information: _____

Principal Sub-contractors: _____

- 2. In submitting this Proposal, the Proposer understands that the right is reserved by the Town of Scotland, CT to reject any and all Proposals or to waive any informality in submitted Proposal documents. If written notice of the acceptance of this Proposal is mailed, telegraphed, or delivered to the undersigned within ninety (90) days after the opening thereof, or at any time thereafter before this proposal is withdrawn, the undersigned agrees to execute and deliver an Agreement in the prescribed form and furnish the required Bonds within ten (10) days after the Agreement is presented to (him) (her) for signature.
- 3. The acceptance of subcontractors shall rest with the Town of Scotland, CT and their decision shall be final.
- 4. The Proposer proposes to begin the Work described in the Contract Documents on *(insert date)* _____, and to reach Substantial Completion of the Work on or before *(insert date)* _____.
- 5. The Proposer acknowledges review of and consent to the Contract AIA Form A101-2017 as modified, AIA A101-2017, Exhibit A, as modified, and AIA A201-2017, as modified.

[TYPE OR PRINT LEGIBLY BELOW]

Date: _____

By: _____

Title: _____

Company _____

Official Address: _____

END OF SECTION 00 41 00

PART 1 - GENERAL

1.1 REQUIREMENTS INCLUDED:

- A. Schedule of monetary amounts of Allowances in Contract Sum for purchase of designated products.
- B. Costs in Contract Sum other than in Allowance.
- C. Procedures for administration of Allowances.
- D. Unit cost Allowances.

1.2 DEFINITION AND EXPLANATIONS

- A. Certain requirements of the Work related to each allowance are shown and specified in the Contract Documents. The allowance has been established for the materials or systems by unit cost or lump sum cost, shipped to the site and as described in the General Conditions.

1.3 SCHEDULE OF ALLOWANCES

- A. **Allowance No. 1**
Allow the sum of \$20,000.00 for restoration of the cupola.
- B. **Allowance No. 2**
Allow 250 LF of rake and eave board replacement in Base Bid. See Unit Price No. 8.
- C. **Allowance No. 3**
Allow the sum of \$5,000.00 for repair of deteriorated framing behind existing concrete landings / ramps / stairs.
- D. **Allowance No. 4**
Allow 410 cubic feet for repair/restoration of stone masonry foundation walls behind existing concrete stairs / ramp, landings, at areas where cementitious parge coating is to be removed, and below grade at north foundation wall to excavated for waterproofing treatment. See Unit Price no. 5.
- E. **Allowance No. 5**
Allow the sum of \$10.00 / SF (material cost) for floor tile.
- F. **Allowance No. 6**
Allow the sum of \$13.00 / SF (material cost) for Bathroom and Janitor's Closet wall tile
- G. **Allowance No. 7**
Allow the sum of \$13.00 / SF (material cost) for Kitchenette backsplash tile
- H. **Allowance No. 8**
Not Used

- I. **Allowance No. 9**
Allow the sum of \$5,000.00 for Interior Building Signage
- J. **Allowance No. 10**
Allow the sum of \$60,000.00 for Builders Hardware
- K. **Allowance No. 11**
Allow 100 SF of Exterior Wall board sheathing replacement in Base Bid. See Unit Price No. 1.
- L. **Allowance No. 12**
Allow 25 SF of Roof Sheathing replacement in Base Bid. See Unit Price No. 2.
- M. **Allowance No. 13**
Allow replacement of 10 panes of glass in the Base Bid. See Unit Price No. 4.
- N. **Allowance No. 14**
Allow the sum of \$2,500.00 to line existing chimney
- O. **Allowance No. 15**
Allow replacement of 30 panes of glass in the Base Bid. See Unit Price No. 4a.
- P. **Allowance No. 16**
Allow 570 CY excavation and removal of organic and non-suitable fill material in area of driveway and parking lot, including material and labor. See Unit Price no. 10
- Q. **Allowance No. 17**
Allow 570 CY of compacted granular subbase material in areas of unsuitable material excavation, including material and labor. See Unit Price no. 11
- R. **Allowance No. 18**
Allow 10 CY of rock removal within drainage trench areas, including material and labor. See Unit Price no. 12

1.4 COSTS INCLUDED IN ALLOWANCES

- A. Cost of product to Contractor or Subcontractor, less applicable trade discounts.
- B. Delivery to site.
- C. Applicable taxes.

1.5 CONTRACTOR COSTS NOT INCLUDED IN ALLOWANCES, BUT INCLUDED IN BASE BID

- A. Products handling at site, including unloading, uncrating, and storage.

- B. Protection of products from elements and from damage.
- C. Labor for installation and finishing.
- D. Other expenses required to complete installation.
- E. Contractor overhead and profit.

1.6 SCHEDULE OF UNIT PRICES

- A. **Unit Price No. 1**, Section 06 10 00 – Existing Wall Sheathing Replacement / SF
- B. **Unit Price No. 2**, Section 06 10 00 – Existing Roof Sheathing Replacement / SF
- C. **Unit Price No. 3**, Section 06 20 13 – Exterior Finish Carpentry: Wood repair using a paste epoxy, per square inch.
- D. **Unit Price No. 4**, Section 08 52 01 – Wood Window Restoration: float glass replacement, per pane (<144 square inches.)
- E. **Unit Price No. 4a**, Section 08 52 01 – Wood Window Restoration: Restoration glass replacement per pane (<144 square inches.)
- F. **Unit Price No. 5**, Section 04 10 40 – Stone Masonry Restoration: stone masonry restoration per cubic foot.
- G. **Unit Price No. 6**, Section 31 20 00 – Earthwork: Removal of organic and non-suitable fill per cubic yard
- H. **Unit Price No. 7**, Section 31 20 00 – Earthwork: Processed base per cubic yard
- I. **Unit Price No. 8**, Section 06 20 13 – Exterior Finish Carpentry: Rake and eave board replacement / LF
- J. **Unit Price No. 9**, Section 09 64 00 – Wood Floor Board Replacement / 10 SF
- K. **Unit Price No. 10**, Section 31 20 00 – Earthwork – Removal of non-suitable fill / CY
- L. **Unit Price No. 11**, Section 31 20 00 – Earthwork – Compacted granular subbase / CY
- M. **Unit Price No. 12**, Section 31 20 00 – Earthwork – Rock removal / CY

1.7 COSTS INCLUDED IN UNIT PRICES

- A. Cost of product to Contractor or Subcontractor, less applicable trade discounts.
- B. Delivery to site.

- C. Applicable taxes.
- D. Products handling at site, including unloading, uncrating, and storage.
- E. Protection of products from elements and from damage.
- F. Labor for installation and finishing.
- G. Other expenses required to complete installation.
- H. Contractor overhead and profit.

1.8 ADJUSTMENT OF COSTS

- A. Should the net cost be more or less than the specified amount of the allowance, the Contract Sum will be adjusted accordingly by Change Order.
- B. The amount of the Change Order will recognize any changes in handling costs at the site, labor, installation costs, overhead, profit, and other expenses caused by the selection under the allowance.
- C. Submit documentation for actual additional costs at the site, or other expenses caused by the selection under the allowance, within 60 days after completion of execution of the Work.
- D. Failure to submit claims within the designated time will constitute a waiver of claims for additional costs.
- E. At contract closeout, reflect all approved changes in contract amounts in the final statement of accounting.

1.9 EXCESS MATERIALS

- A. Submit invoices or delivery slips to indicate the actual quantities of materials shipped to the site for use in fulfillment of each allowance.
- B. Where economically feasible, and so requested by the Owner, return unused materials to the manufacturer or supplier for credit to the Owner, after the installation has been completed and accepted.
- C. Where not economically feasible to return for credit, prepare unused materials for the Owner's storage, and deliver to the Owner's storage space as directed. Otherwise, disposal of excess materials is the Contractor's responsibility after the approval of the Owner.

1.10 ARCHITECT ENGINEER RESPONSIBILITIES

- A. Consult with Contractor in consideration of products, and suppliers.

- B. Select products, obtain Owner's written decision, and transmit full information to Contractor:
 - 1. Manufacturer, product, model or catalog number, accessories, attachments, and finishes.
 - 2. Supplier as applicable.
 - 3. Cost to Contractor, delivered to site.

1.11 CONTRACTOR RESPONSIBILITIES

- A. Designate in the construction progress schedule the delivery dates for products specified under each allowance.
- B. At the earliest feasible date after the award of Contract, advise the Architect/Engineer of the schedule date when the final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in the performance of the Work.
- C. Obtain and submit proposals for the Work of each allowance as requested to the Architect for use in making the final selections. Include whatever recommendations for selection that may be relevant to the proper performance of the Work.
- D. Promptly notify Architect of any reasonable objections against supplier.
- E. On notification of selection execute purchase agreement with designated supplier.
- F. Arrange for and process Shop Drawings, product data, and samples.
- G. Arrange for delivery. Promptly inspect products upon delivery for completeness, damage, and defects. Submit claims for transportation damage.
- H. Install, adjust, and finish products as required in the respective specification sections.
- I. Provide warranties for products and installation.

1.12 CORRELATION WITH CONTRACTOR SUBMITTALS

- A. Schedule Shop Drawings, product data, samples, and delivery dates, in Progress Schedule for products selected under allowances.

PART 2 - PRODUCTS
(Not Used)

PART 3 - EXECUTION
(Not Used)

END OF SECTION 01 20 00

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. The Contractor, Subcontractors, and/or suppliers providing goods or services referenced in or related to this Section shall also be bound by the Documents identified in Division 01 Section “Summary”, Paragraph 1.1A, entitled “Related Documents.”

1.2 DESCRIPTION

- A. Contractor shall develop a traffic protection plan that is approved by the respective town authorities for protecting traffic during work that will take place in the right-of-way.
- B. Contractor shall adhere to all applicable Town of Scotland ordinances that relate to traffic control and protection.
- C. Coordinate with the Town of Scotland authorities, both fire and police departments to review applicable requirements and develop a traffic control plan consistent with referenced documents for approval by Town authorities. See standards details attached to the end of this section
- D. Contractor shall arrange activity so that all streets shall remain open to at least one-way traffic during periods of actual work, and to unimpeded, two-way traffic during all other periods.
- E. One lane of traffic must be maintained for emergency vehicles access at all times of construction.
- F. Determine the location of each day’s work and implement required traffic control measures as needed to satisfy the traffic control plan.
- G. Contractor shall allow local residents to access their driveways at all times. If excavation work is scheduled to occur near a driveway, the contractor shall contact the resident to allow them time to move cars if necessary.
- H. Contractor shall provide all necessary temporary traffic signage and flagmen as needed to satisfy the traffic control plan.

1.3 REFERENCES

Standards and Definitions: The following standard(s) as referenced herein are applicable in their entirety to work of this Section.

- A. *Manual of Uniform Traffic Control Devices*, US Department of Transportation
- B. *State of Connecticut DOT Office of the State, Traffic Administration Regulations*
- C. Form 819 State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction.

1.5 MATERIAL OWNERSHIP

- A. Except for stripped topsoil and other materials indicated to be stockpiled or otherwise remain as the Owner’s property, cleared materials shall become the Contractor’s property and shall be removed from the project site.

1.6 SUBMITTALS

- A. Contractor shall submit a traffic control plan that meets Town of Scotland ordinances, and were reviewed and approved by both the fire department and police department. See standard details attached to the end of this section.

NOTES FOR TRAFFIC CONTROL PLANS

1. IF A TRAFFIC STOPPAGE OCCURS IN ADVANCE OF SIGN (A), THEN AN ADDITIONAL SIGN (A) SHALL BE INSTALLED IN ADVANCE OF THE STOPPAGE.
2. SIGNS (AA), (A), AND (D) SHOULD BE OMITTED WHEN THESE SIGNS HAVE ALREADY BEEN INSTALLED TO DESIGNATE A LARGER WORK ZONE THAN THE WORK ZONE THAT IS ENCOMPASSED ON THIS PLAN.
3. SEE TABLE 1 FOR ADJUSTMENT OF TAPERS IF NECESSARY.
4. IF THIS PLAN REMAINS IN CONTINUOUS OPERATION FOR MORE THAN 36 HOURS, THEN TRAFFIC DRUMS SHALL BE USED IN PLACE OF TRAFFIC CONES.
5. ANY LEGAL SPEED LIMIT SIGNS WITHIN THE LIMITS OF A ROADWAY / LANE CLOSURE AREA SHALL BE COVERED WITH AN OPAQUE MATERIAL WHILE THE CLOSURE IS IN EFFECT, AND UNCOVERED WHEN THE ROADWAY / LANE CLOSURE IS RE-OPENED TO ALL LANES OF TRAFFIC.
6. IF THIS PLAN REMAINS IN CONTINUOUS OPERATION FOR MORE THAN 36 HOURS, THEN ANY EXISTING CONFLICTING PAVEMENT MARKINGS SHALL BE ERADICATED OR COVERED, AND TEMPORARY PAVEMENT MARKINGS THAT DELINEATE THE PROPER TRAVELPATHS SHALL BE INSTALLED.
7. DISTANCES BETWEEN SIGNS IN THE ADVANCE WARNING AREA MAY BE REDUCED TO 100' ON LOW-SPEED URBAN ROADS (SPEED LIMIT < 40 MPH).
8. IF THIS PLAN IS TO REMAIN IN OPERATION DURING THE HOURS OF DARKNESS, INSTALL BARRICADE WARNING LIGHTS - HIGH INTENSITY ON ALL POST-MOUNTED DIAMOND SIGNS IN THE ADVANCE WARNING AREA.
9. A CHANGEABLE MESSAGE SIGN SHALL BE INSTALLED ONE HALF TO ONE MILE IN ADVANCE OF THE LANE CLOSURE TAPER.
- 10 SIGN (P) SHALL BE MOUNTED A MINIMUM OF 7 FEET FROM THE PAVEMENT SURFACE TO THE BOTTOM OF THE SIGN.

TABLE 1 - MINIMUM TAPER LENGTHS

POSTED SPEED LIMIT (MILES PER HOUR)	MINIMUM TAPER LENGTH FOR A SINGLE LANE CLOSURE
30 OR LESS	180' (55m)
35	250' (75m)
40	320' (100m)
45	540' (165m)
50	600' (180m)
55	660' (200m)
65	780' (240m)

METRIC CONVERSION CHART (1" = 25mm)

ENGLISH	METRIC	ENGLISH	METRIC	ENGLISH	METRIC
12"	300mm	42"	1050mm	72"	1800mm
18"	450mm	48"	1200mm	78"	1950mm
24"	600mm	54"	1350mm	84"	2100mm
30"	750mm	60"	1500mm	90"	2250mm
36"	900mm	66"	1650mm	96"	2400mm



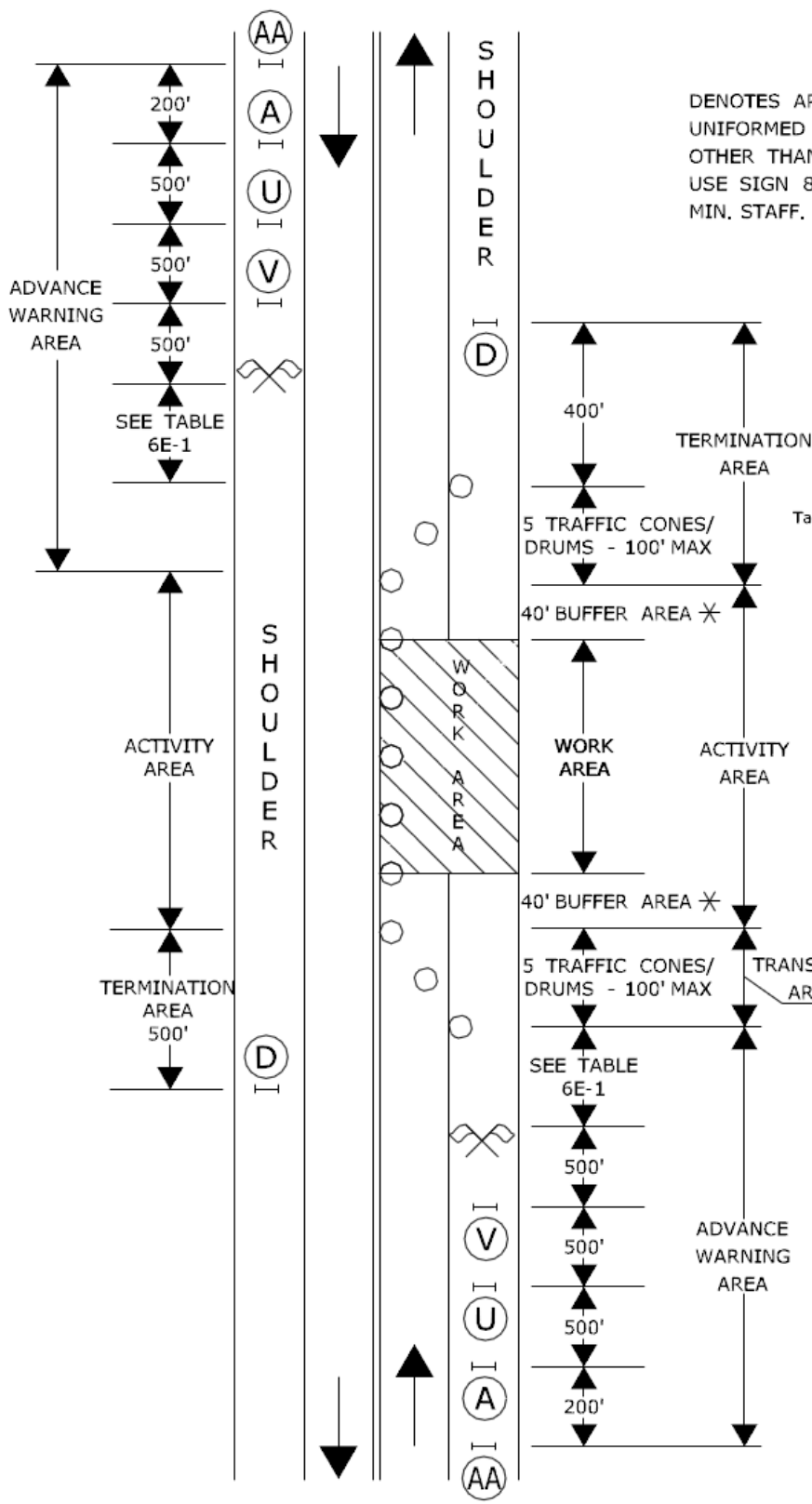
SCALE: NONE

CONSTRUCTION TRAFFIC CONTROL PLAN

NOTES

WORK IN TRAVEL LANE AND SHOULDER TWO LANE HIGHWAY ALTERNATING ONE-WAY TRAFFIC OPERATIONS

SIGN FACE
108 SQ. FT (MIN.)



DENOTES APPROXIMATE LOCATION OF UNIFORMED FLAGGER. TRAFFICPERSON OTHER THAN POLICE OFFICERS SHALL USE SIGN 80-9950 MOUNTED ON A 6' MIN. STAFF.

FROM THE MUTCD (2009 EDITION)
Table 6E-1. Stopping Sight Distance as a Function of Speed.

Speed (mph)	Distance (ft)
20	115
25	155
30	200
35	250
40	305
45	360
50	425
55	495

- TRAFFIC CONE **OR** TRAFFIC DRUM
- ✱ OPTIONAL ✕ TRAFFIC DRUM ⇨ PORTABLE SIGN SUPPORT
- ⇐ HIGH MOUNTED INTERNALLY ILLUMINATED FLASHING ARROW



CONSTRUCTION TRAFFIC CONTROL PLAN
PLAN 13 - SHEET 1 OF 2
SEE NOTES 1, 2, 4, 6, 7, 8

WORK IN TRAVEL LANE AND SHOULDER TWO LANE HIGHWAY ALTERNATING ONE-WAY TRAFFIC OPERATIONS

SIGN FACE
108 SQ. FT (MIN.)

HAND SIGNAL METHODS TO BE USED BY UNIFORMED FLAGGERS

THE FOLLOWING METHODS FROM SECTION 6E.07, FLAGGER PROCEDURES, IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," SHALL BE USED BY UNIFORMED FLAGGERS WHEN DIRECTING TRAFFIC THROUGH A WORK AREA. THE STOP/SLOW SIGN PADDLE (SIGN NO. 80-9950) SHOWN ON THE TRAFFIC STANDARD SHEET TR-1220 01 ENTITLED, "SIGNS FOR CONSTRUCTION AND PERMIT OPERATIONS" SHALL BE USED.

A. TO STOP TRAFFIC

TO STOP ROAD USERS, THE FLAGGER SHALL FACE ROAD USERS AND AIM THE STOP PADDLE FACE TOWARD ROAD USERS IN A STATIONARY POSITION WITH THE ARM EXTENDED HORIZONTALLY AWAY FROM THE BODY. THE FREE ARM SHALL BE HELD WITH THE PALM OF THE HAND ABOVE SHOULDER LEVEL TOWARD APPROACHING TRAFFIC.



B. TO DIRECT TRAFFIC TO PROCEED

TO DIRECT STOPPED ROAD USERS TO PROCEED, THE FLAGGER SHALL FACE ROAD USERS WITH THE SLOW PADDLE FACE AIMED TOWARD ROAD USERS IN A STATIONARY POSITION WITH THE ARM EXTENDED HORIZONTALLY AWAY FROM THE BODY. THE FLAGGER SHALL MOTION WITH THE FREE HAND FOR ROAD USERS TO PROCEED.



C. TO ALERT OR SLOW TRAFFIC

TO ALERT OR SLOW TRAFFIC, THE FLAGGER SHALL FACE ROAD USERS WITH THE SLOW PADDLE FACE AIMED TOWARD ROAD USERS IN A STATIONARY POSITION WITH THE ARM EXTENDED HORIZONTALLY AWAY FROM THE BODY. TO FURTHER ALERT OR SLOW TRAFFIC, THE FLAGGER HOLDING THE SLOW PADDLE FACE TOWARD ROAD USERS MAY MOTION UP AND DOWN WITH THE FREE HAND, PALM DOWN.



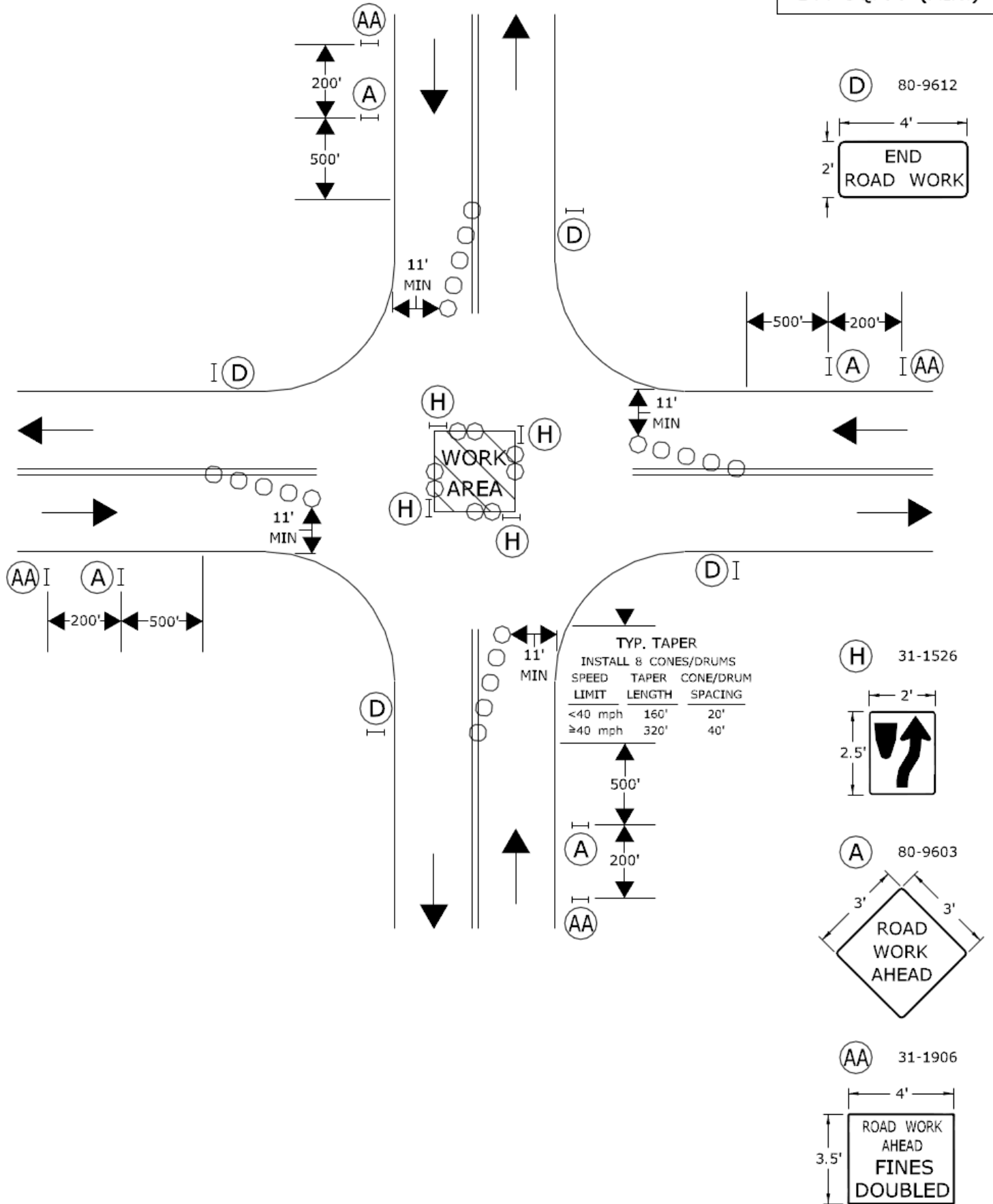
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CONSTRUCTION TRAFFIC CONTROL PLAN
PLAN 13 - SHEET 2 OF 2
SEE NOTES 1, 2, 4, 6, 7, 8

WORK IN MIDDLE OF ROADWAY AT INTERSECTION

SIGN FACE
144 SQ. FT (MIN.)



- TRAFFIC CONE **OR** TRAFFIC DRUM
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SCALE: NONE

CONSTRUCTION TRAFFIC CONTROL PLAN

PLAN 17

SEE NOTES 1, 2, 4, 6, 7, 8

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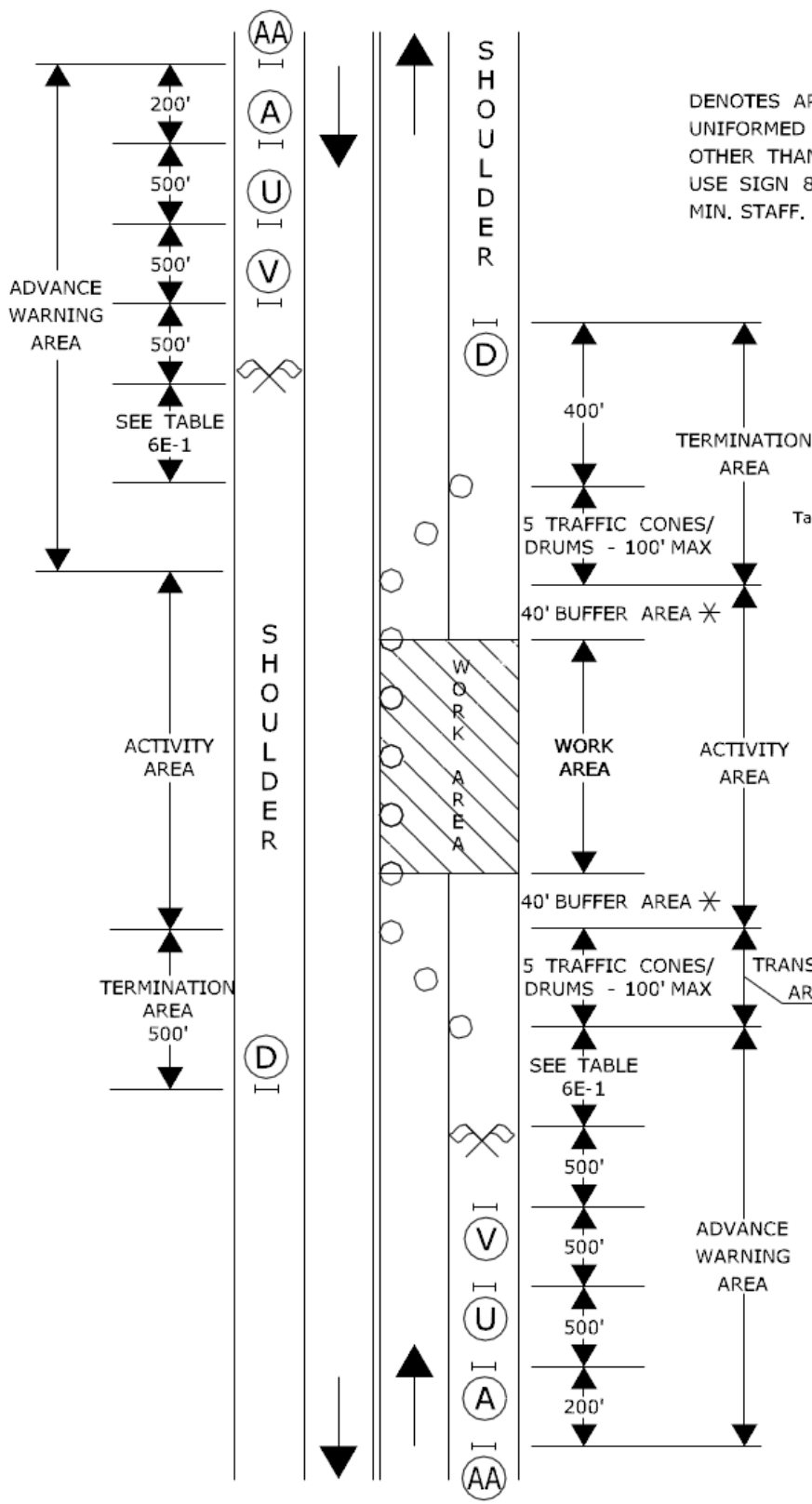
SCALE: NONE

CONSTRUCTION TRAFFIC CONTROL PLAN

NOTES

WORK IN TRAVEL LANE AND SHOULDER TWO LANE HIGHWAY ALTERNATING ONE-WAY TRAFFIC OPERATIONS

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CONSTRUCTION TRAFFIC CONTROL PLAN
PLAN 13 - SHEET 1 OF 2
SEE NOTES 1, 2, 4, 6, 7, 8

WORK IN TRAVEL LANE AND SHOULDER TWO LANE HIGHWAY ALTERNATING ONE-WAY TRAFFIC OPERATIONS

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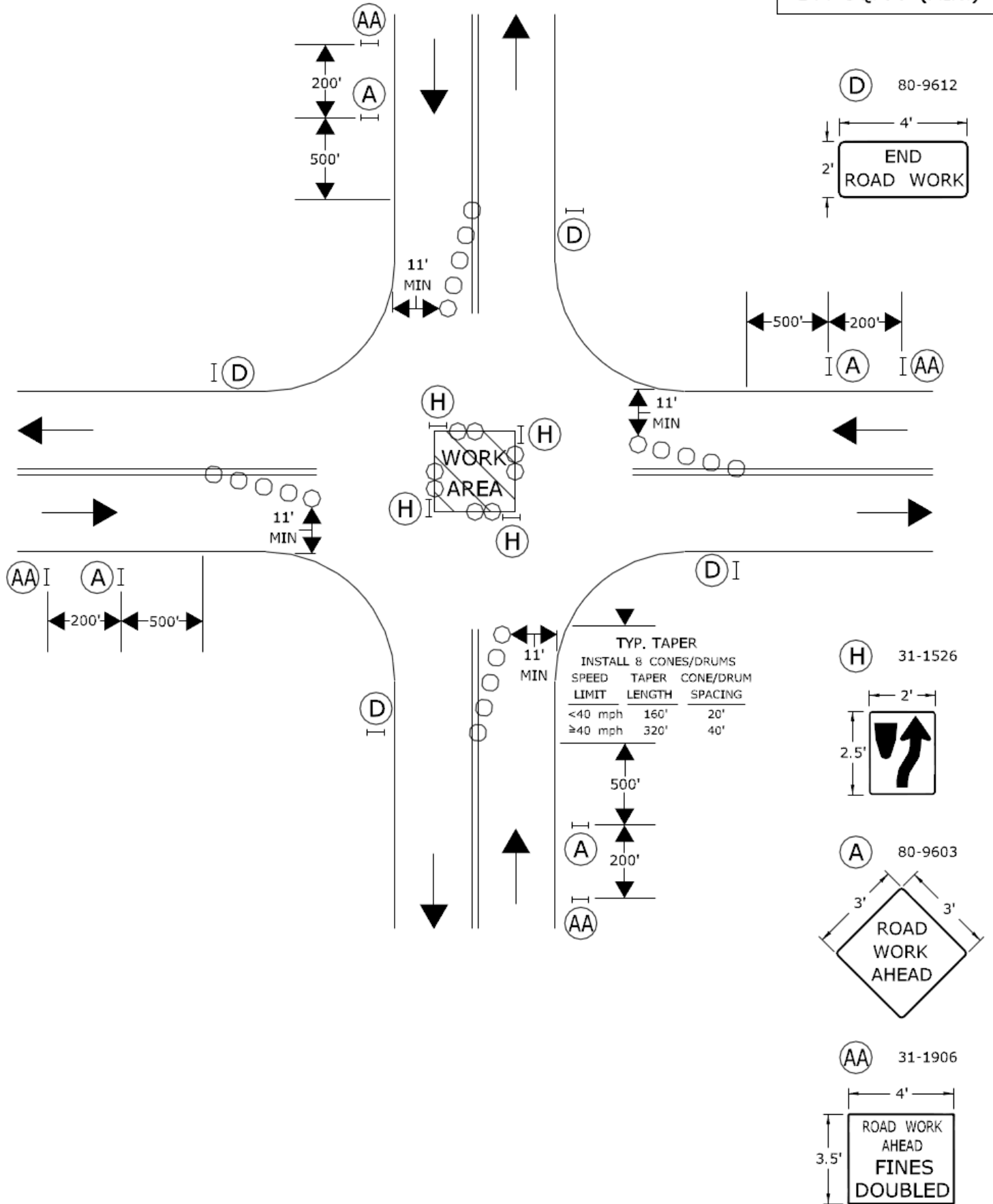


SCALE: NONE

CONSTRUCTION TRAFFIC CONTROL PLAN
PLAN 13 - SHEET 2 OF 2
SEE NOTES 1, 2, 4, 6, 7, 8

WORK IN MIDDLE OF ROADWAY AT INTERSECTION

SIGN FACE
144 SQ. FT (MIN.)



- TRAFFIC CONE **OR** TRAFFIC DRUM
- ✱ OPTIONAL ⊗ TRAFFIC DRUM — PORTABLE SIGN SUPPORT
- ◀ HIGH MOUNTED INTERNALLY ILLUMINATED FLASHING ARROW



SCALE: NONE

CONSTRUCTION TRAFFIC CONTROL PLAN

PLAN 17

SEE NOTES 1, 2, 4, 6, 7, 8